

# TWENTY ONES

## SALT LAKE CITY, UT

### DESIGN REVIEW APPLICATION - RESUBMITTAL 12 MAY 2020

ARCHITECT/STRUCTURAL ENGINEER



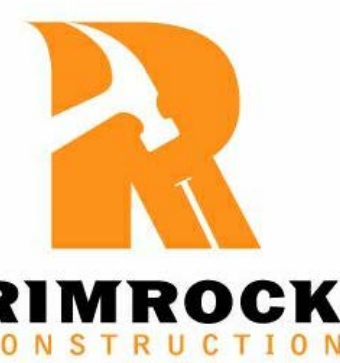
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DEVELOPER



**ROCKWORTH**  
COMPANIES

GENERAL CONTRACTOR



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#### DESIGN STANDARDS - CB ZONE

ROCKWORTH DEVELOPMENT, AE URBIA ARCHITECTS, AND RIMROCK CONSTRUCTION ARE EXCITED TO PROPOSE A NEW MIXED USE DEVELOPMENT ON SALT LAKE CITY'S EAST SIDE. TWENTY ONES, THE PROJECT WILL ADDRESS THE 21ST AND 21ST AREA PLAN BY PROVIDING A HIGH-END MIX OF USES INCLUDING APPROXIMATELY 16,000 SF OF RETAIL (SHOPS, RESTAURANTS AND SERVICE-ORIENTED RETAIL) AND 99 HIGH-END RESIDENTIAL UNITS WITH AMENITIES. THE RETAIL COMPONENT OF THE PROJECT WILL BE INCLUDED ON THE GROUND FLOOR OF A 2-STORY MIXED-USE BUILDING ORIENTED TO 2100 SOUTH. THIS BUILDING PROPOSES TO REPLACE A DETERIORATING GROUP OF BUILDINGS AND USES IN AT THIS LOCATION THAT HAVE OUTLIVED THEIR DEPRECIABLE LIFE. ATTRACTIVE STOREFRONTS, BUILDING FACADES, LANDSCAPING AND OUTDOOR DINING AREAS WILL ENHANCE THE NEIGHBORHOOD ENVIRONMENT AND INVITE PEDESTRIAN TRAFFIC. TARGETED TENANTS FOR THE COMMERCIAL SPACE WILL INCLUDE THE BEST OF LOCAL RESTAURANTS, SHOPS AND SERVICE-ORIENTED RETAIL (SEE HOLLADAY VILLAGE SQUARE FOR A MODEL). THESE NEW VIBRANT USES WILL BREATHE NEW LIFE INTO THE COMMUNITY AND BOLSTER EXISTING SURROUNDING BUSINESSES, SUCH AS BLUE PLATE DINER AND OTHER LOCAL SHOPS.

ABOVE THE RETAIL ALONG 2100 SOUTH AND NORTH OF THE RETAIL IN A SEPARATE 3-STORY BUILDING, WE PROPOSE 99 RESIDENTIAL DWELLING UNITS TO ADD NEW ACTIVITY AND VISUAL INTEREST TO THE 21ST AND 21ST CORRIDOR. RESIDENTS WILL ENJOY LIVING IN A TRUE MIXED-USE ENVIRONMENT AMONG GREAT RESTAURANTS AND SERVICES IN ONE OF SALT LAKE'S MOST DESIRABLE NEIGHBORHOODS. TWENTY-TWO OF THE RESIDENTIAL UNITS WILL BE LOCATED ABOVE THE RETAIL AND THE 77 REMAINING UNITS WILL BE LOCATED IN THE NEW 3-STORY BUILDING THAT WILL BE EQUIPPED WITH PRIVATE, SECURE, UNDERGROUND PARKING, FITNESS CENTER, PET SPA, BIKE SHARE AND MULTIPLE LOUNGE AREAS - BOTH INDOOR AND OUTDOOR.

THE PROJECT INTENDS TO CREATE A SORELY NEEDED COMMUNITY GATHERING AREA ATTRACTING NEARBY RESIDENTS, QUALITY BUSINESSES AND DESTINATION SEEKERS TOGETHER IN A SAFE, BEAUTIFUL, ARCHITECTURALLY INVITING ATMOSPHERE FOR DECADES.

THE PROJECT IS LOCATED IN THE **CB ZONE**, WHICH IS INTENDED TO:

- PROVIDE FOR THE CLOSE INTEGRATION OF MODERATELY SIZED COMMERCIAL AREAS WITH ADJACENT RESIDENTIAL NEIGHBORHOODS

THE DESIGN GUIDELINES ARE INTENDED TO

- FACILITATE RETAIL THAT IS PEDESTRIAN IN ITS ORIENTATION AND SCALE
- ACKNOWLEDGE THE IMPORTANCE OF TRANSIT AND AUTOMOBILE ACCESS TO THE SITE

CB ZONE DESIGN STANDARDS	ORDINANCE REFERENCE	RESPONSE TO DESIGN STANDARDS	SEE SHEET
RETAIL SHALL EXTEND 25' MIN INTO BUILDING AT MAIN LEVEL AND BE VISUALLY INTERESTING	21A.37.050.A.1	RETAIL EXTENDS MIN. 25' INTO BUILDING	A101
BUILDING SHALL BE CLAD IN DURABLE MATERIALS	21A.37.050.B	BUILDINGS ARE CLAD IN DURABLE MATERIALS	A201
40% MIN GLAZING	21A.37.050.C.1	40% MIN GLAZING IS PROVIDED	A201
BUILDING ENTRANCES AT EACH STREET-FACING FACADE	21A.37.050.A.2	EACH BUILDING HAS SEVERAL ENTRANCES AT STREET FACADE	A201, A206
15' MAX LENGTH OF BLANK WALL	21A.37.050.E	NO BLANK WALLS EXCEED 15'	A201-A206
CHANGES IN PLANE, MATERIALS TO CREATE VARIETY AND SCALE	21A.37.050.E	SEVERAL CHANGES IN MATERIAL AND PLANE EXIST	A201-A206
EXTERIOR LIGHTING DIRECTED DOWN TO PREVENT LIGHT TRESPASS	21A.37.050.H	ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWN	A201-A206
PARKING LOT LIGHTING MAX 16' IN HEIGHT	21A.37.050.I	ALL PARKING LOT LIGHTING SHALL BE 16' MAX.	A201-A206
ALL MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW	21A.37.050.J	ALL MECH. EQPT SHALL BE SCREENED FROM VIEW	A201-A206

DESIGN REVIEW STANDARDS	ORDINANCE REFERENCE	RESPONSE TO DESIGN REVIEW REQUIREMENTS	SEE SHEET
NEW DEVELOPMENT SHALL COMPLY WITH PURPOSE OF ZONING DISTRICT	21A.59.050.A	DEVELOPMENT COMPLIES WITH ZONING (SEE ABOVE)	
DEVELOPMENT SHALL BE ORIENTED TO THE SIDEWALK	21A.59.050.B	DEVELOPMENT IS ORIENTED TO THE SIDEWALK	A100, C1
BUILDING FACADES SHALL FACILITATE PEDESTRIAN INTEREST AND INTERACTION	21A.59.050.C	BUILDING IS DESIGN WITH INTEREST AND INTERACTION	A201
LARGE MASSES SHOULD BE DIVIDED INTO AREAS THAT RELATE TO HUMAN SCALE	21A.59.050.D	FACADE IS DIVIDED INTO SMALLER MASSES	A201
LONG FACADES SHALL INCLUDE CHANGES IN VERTICAL PLANE, MATERIAL & MASSING	21A.59.050.E	FACADE INCLUDES MATERIAL AND PLANE CHANGES	A201
SHALL INCLUDE SEASONAL SHADE, TREES AND OUTDOOR DINING AREAS	21A.59.050.F	PROJECT INCLUDES LANDSCAPING AND OUTDOOR DINING	LP100
BUILDING HEIGHT SHALL RELATED TO HUMAN SCALE	21A.59.050.G	BUILDING HEIGHT IS KEPT TO A HUMAN SCALE	A201, A206
PROVIDE PARKING AND SIDEWALKS	21A.59.050.H	PARKING AND SIDEWALKS ARE PROVIDED	A100, C1
WASTE AND RECYCLING CONTAINERS SHALL BE SCREENED	21A.59.050.I	WASTE CONTAINERS WILL BE SCREENED	A100
SIGNAGE SHALL EMPHASIZE THE PEDESTRIAN ORIENTATION	21A.59.050.J	SIGNAGE SHALL BE OF A PEDESTRIAN SCALE	A201
LIGHTING SHALL SUPPORT PEDESTRIAN COMFORT AND SAFETY AND DARK SKY GOALS	21A.59.050.K	LIGHTING WILL SUPPORT PEDESTRIAN COMFORT	A201-A206
PROVIDE STREETScape IMPROVEMENTS (LANDSCAPE, HARDSCAPE)	21A.59.050.L	LANDSCAPING AND HARDSCAPING IS PROVIDED	A100, C1, LP100

TWENTY ONES - BUILDING 1 SHARED PARKING PER 21A.44.0408

	WEEKDAYS			WEEKENDS		
	MIDNIGHT TO 7am	7am-6pm	6pm-MIDNIGHT	MIDNIGHT TO 7am	7am-6pm	6pm-MIDNIGHT
RESIDENTIAL	38   100%	19   50%	30   80%	38   100%	29   75%	29   75%
RETAIL/SERVICE	0   0%	67   100%	54   80%	0   0%	67   100%	50   75%
TOTAL STALLS REQ'D	38	86	84	38	96	79

BLDG 1 RESIDENTIAL STALLS REQ'D 38  
BLDG 1 RETAIL STALLS REQ'D 67  
SHARED PARKING STALLS REQ'D 96

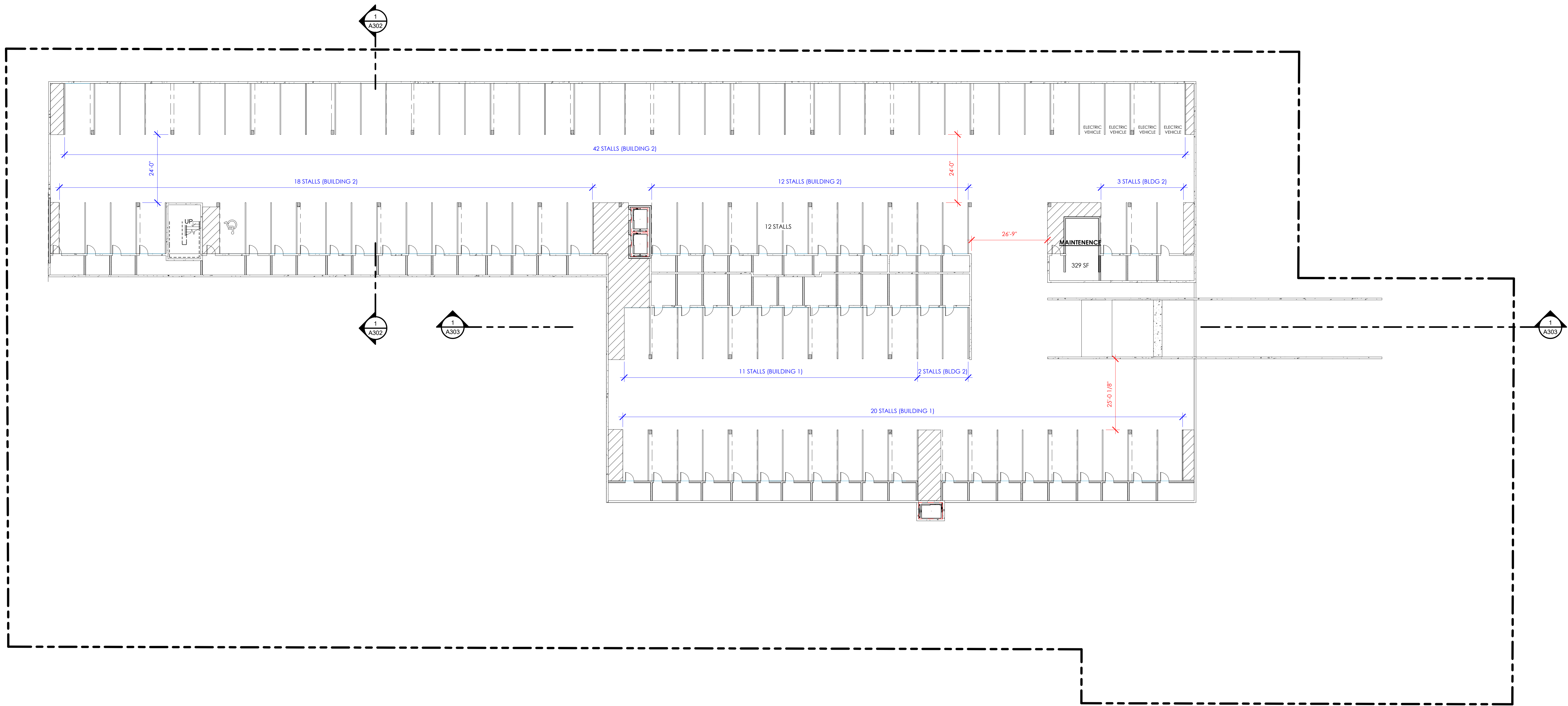
BUILDING 1 DATA	
TYPE V-B CONSTRUCTION	
WOOD FRAMED EXTERIOR WALLS	
PRE-FABRICATED WOOD ROOF TRUSSES	
EXTERIOR FINISH MATERIALS	
• BRICK	
• SYNTHETIC WOOD	
• ALUMINUM STOREFRONT SYSTEM	
• METAL TRIMS	
• EXPOSED CONCRETE	
COMMERCIAL DATA	
RETAIL	16,127 SF
HOUSING DATA	
STUDIO	9
1-BR	15
2-BR	7
31 UNITS	
PARKING DATA	
PARKING REQUIRED (TABLE 21A.44.030)	
COMMERCIAL	20,893 sq ft
3 STALLS per 1000 SF	63
Restaurant = 2/1000	Office = 3/1000
OUTDOOR DINING	1,499 sq ft
2 STALLS per 1000 SF	3
COMMERCIAL STALLS REQ'D	67
BICYCLE PARKING REQ'D	4 (5%)
HOUSING	
STUDIO	1 STALL/UNIT 9
1-BR	1 STALL/UNIT 15
2-BR	2 STALLS/UNIT 14
HOUSING STALLS REQ'D	38
BICYCLE PARKING REQ'D	2 (5%)
ELECTRICAL STALLS REQ'D	2
TOTAL STALLS REQ'D	105
ADA STALLS REQ'D	4
BICYCLE PARKING REQ'D	5
LOADING STALLS REQ'D	0
MAXIMUM STALLS ALLOWED	132
PROVIDED PARKING	
ON-STREET PARKING	24
INTERIOR SURFACE STALLS	49
UNDERGROUND STALLS	31
TOTAL STALLS PROVIDED	104
(INCL. 3 ADA STALLS)	
(INCL. 2 ELECT STALLS)	
BICYCLE STALLS PROVIDED	6

BUILDING 2 DATA	
TYPE V-B CONSTRUCTION (V-A IF REQUIRED)	
WOOD FRAMED EXTERIOR WALLS	
PRE-FABRICATED WOOD ROOF TRUSSES	
POST-TENSION CONCRETE PEDIUM	
EXTERIOR FINISH MATERIALS	
• BRICK	
• HARDIE BOARD SIDING (OR SIMILAR)	
• SYNTHETIC WOOD	
• METAL TRIMS	
HOUSING DATA	
STUDIO	18
1-BR	52
2-BR	7
77 UNITS	
PARKING DATA	
PARKING REQUIRED (TABLE 21A.44.030)	
HOUSING	
STUDIO	1 STALL/UNIT 18
1-BR	1 STALL/UNIT 52
2-BR	2 STALLS/UNIT 14
HOUSING STALLS REQ'D	84
TOTAL STALLS REQ'D	84
ADA STALLS REQ'D	4
BICYCLE STALLS REQ'D	5 (5%)
ELECTRICAL STALLS REQ'D	4
LOADING STALLS REQ'D	0
MAXIMUM STALLS ALLOWED	105
PROVIDED PARKING	
INTERIOR SURFACE STALLS	7
UNDERGROUND STALLS	77
TOTAL STALLS PROVIDED	84
(INCL. 4 ADA STALLS)	
BICYCLE STALLS PROVIDED	6 MIN.
(AT INTERIOR OF BUILDING)	
TOTAL PROJECT UNIT COUNTS	
STUDIO	27 (25%)
1-BR	67 (62%)
2-BR	14 (13%)
TOTAL UNITS	108
2.49 ACRES	
43.4 HOUSING UNITS/ACRE	

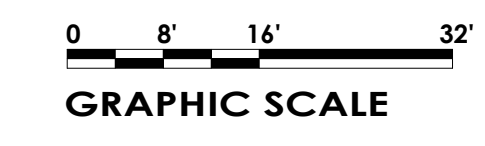
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108 PARKING STALLS  
66 STORAGE UNITS



1  
A100 PARKING GARAGE  
1/16" = 1'-0"



**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

MARK	REVISION	SCHEDULE	DATE

DESIGN REVIEW RESUBMITAL 12 MAY 2020

AE2017.084  
PARKING LEVEL

DATE: 5/12/2020  
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SHEET #:

**A100**



1 SITE / MAIN LEVEL FLOOR PLAN  
 A101 1/16" = 1'-0"

**TWENTY ONES**  
 2100 S & 2100 E  
 SALT LAKE CITY, UT

MARK	Revision Schedule DESCRIPTION	Revision Date

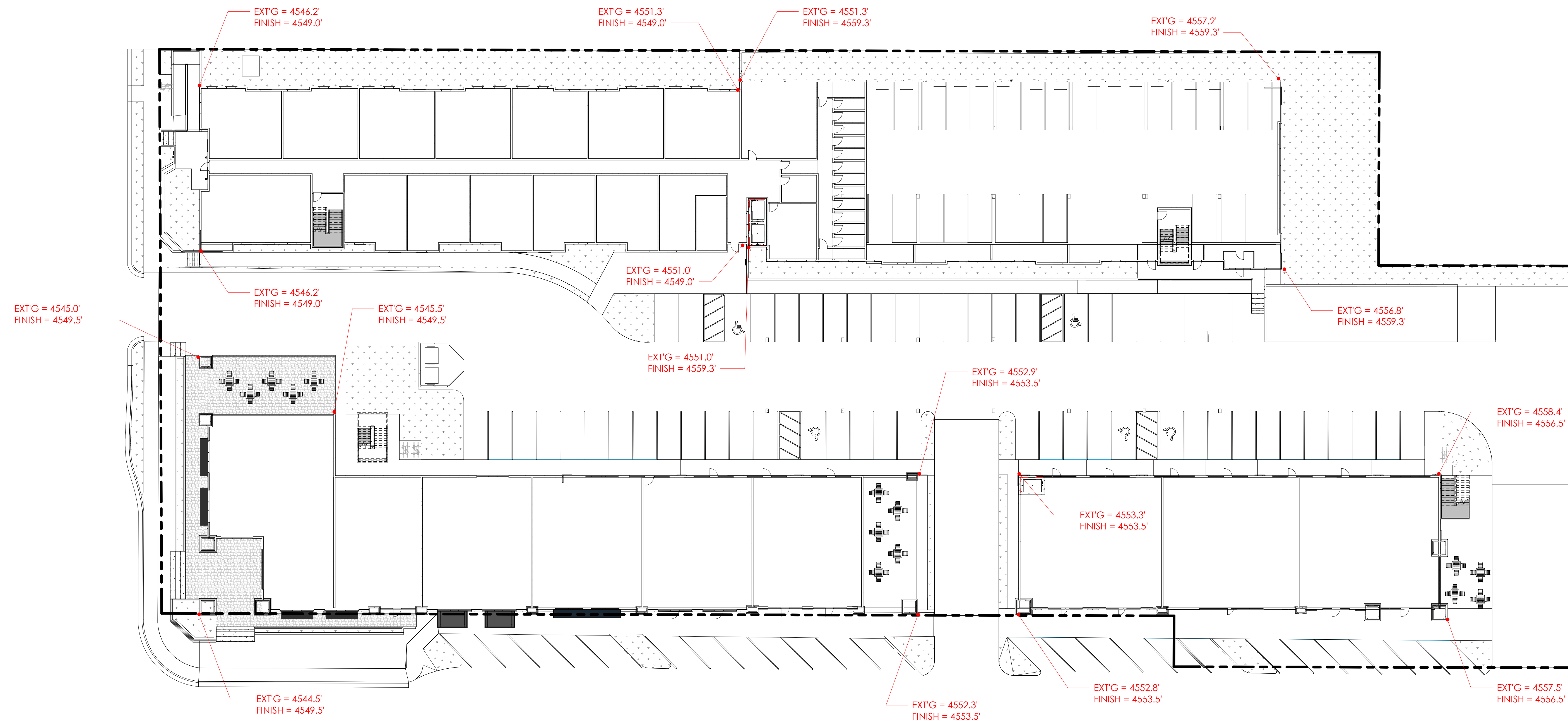
DESIGN REVIEW RESUBMITAL 12 MAY 2020

**AE2017.084**  
 SITE / MAIN LEVEL FLOOR PLAN

DATE: 5/12/2020 4:16:22 PM

SHEET #:

**A101**



1 SITE GRADING EXHIBIT  
A101a 1" = 20'-0"

**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

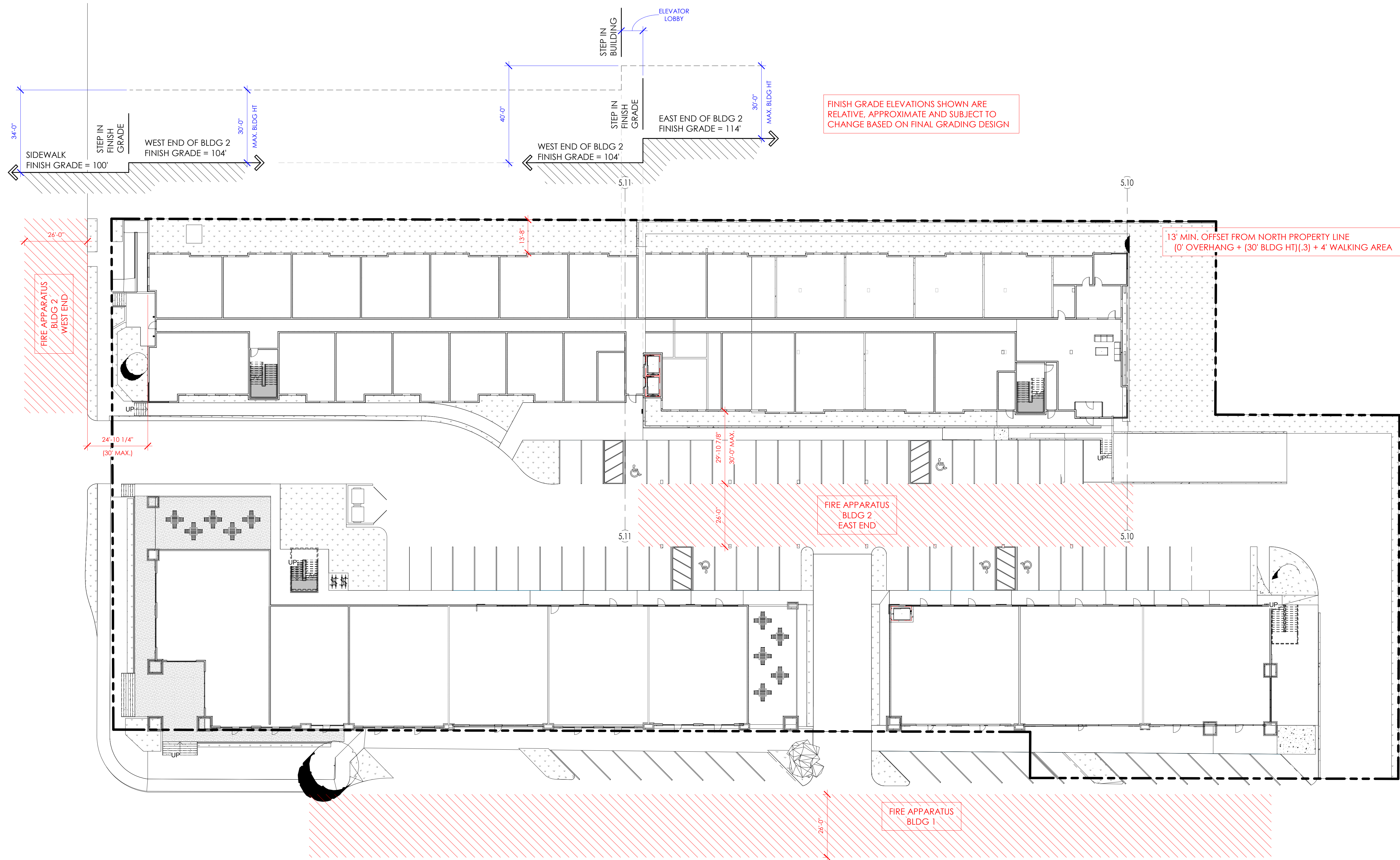
MARK	DESCRIPTION	Revision Date

**AE2017.084**  
SITE GRADING EXHIBIT

DATE: 5/12/2020  
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SHEET #:

**A101a**



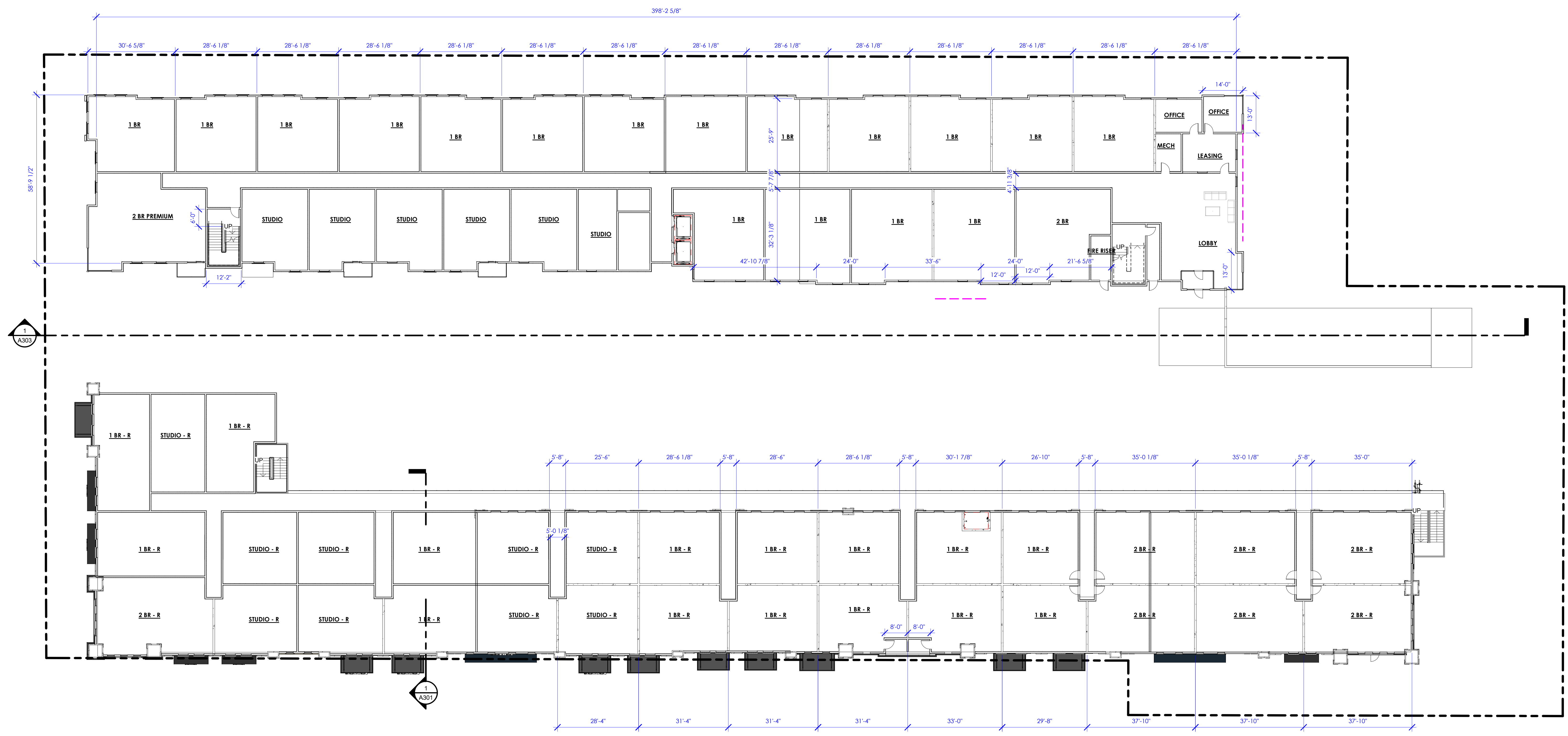
FINISH GRADE ELEVATIONS SHOWN ARE  
RELATIVE, APPROXIMATE AND SUBJECT TO  
CHANGE BASED ON FINAL GRADING DESIGN

13' MIN. OFFSET FROM NORTH PROPERTY LINE  
(0' OVERHANG + (30' BLDG HT) x (.3) + 4' WALKING AREA)

**1**  
A101b SITE PLAN - FIRE DEPT & ZONING EXHIBIT  
1" = 20'-0"



Revision Schedule	
MARK	DESCRIPTION
1	REVISION
2	OWNER UPDATES
3	ADDITION #1
4	ADDITION #1



**1**  
**A102** **SECOND LEVEL FLOOR PLAN**  
 1/16" = 1'-0"



**TWENTY ONES**  
**2100 S & 2100 E**  
 SALT LAKE CITY, UT

MARK	DESCRIPTION	REVISION DATE
1	OWNER UPDATES	2018.11.16
2	ADDITION #1	2017.01.18

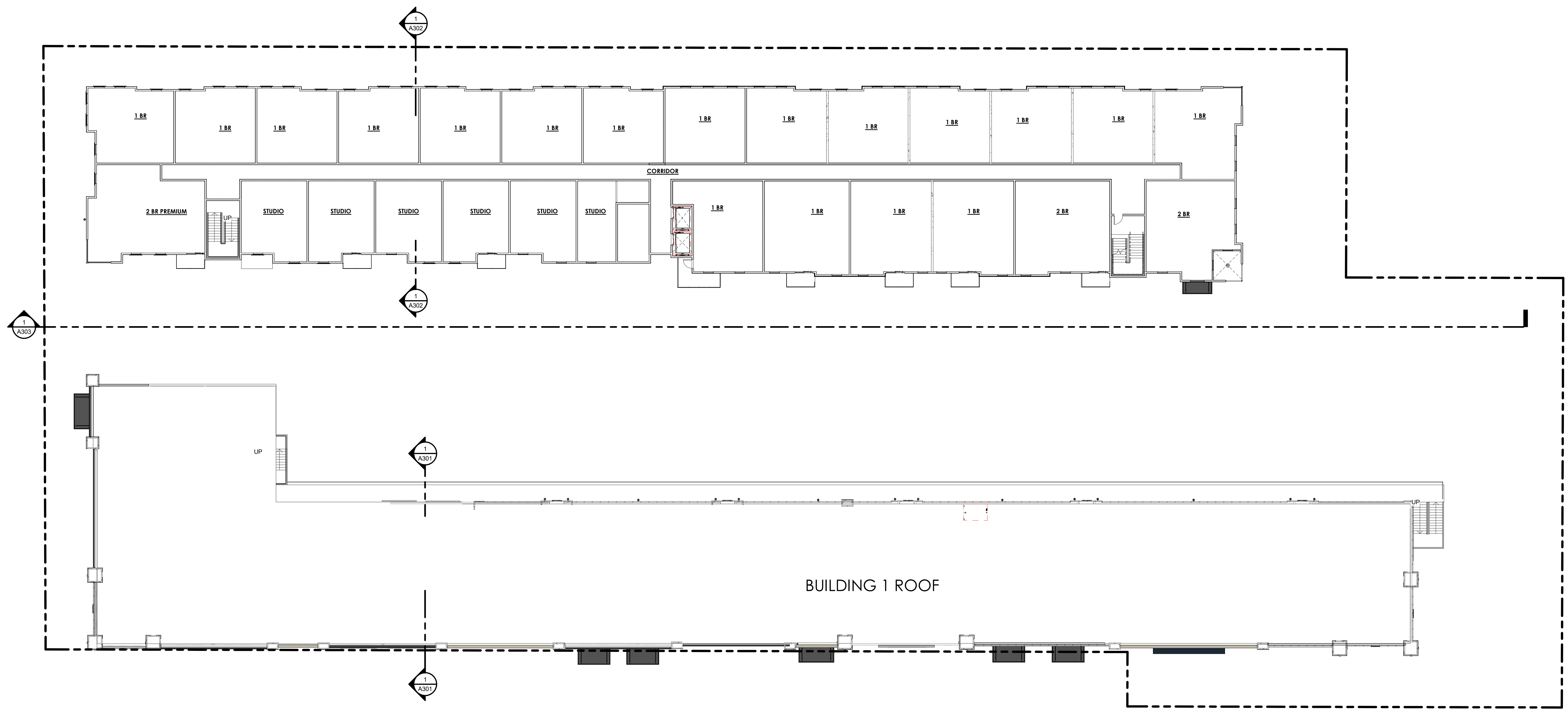
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**SECOND LEVEL**  
**FLOOR PLAN**

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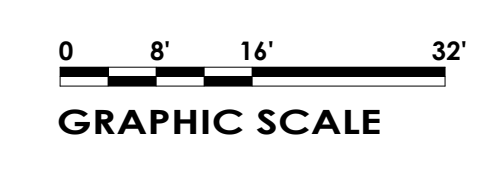
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**A102**

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**1**  
A103 **THIRD LEVEL FLOOR PLAN**  
1/16" = 1'-0"



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**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

MARK	DESCRIPTION	Revision Date
1	OWNER UPDATES	2018.11.16
2	ADDED ROOM #1	2019.01.18

**AE2017.084**  
**THIRD LEVEL FLOOR PLAN**

DATE: 5/12/2020  
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SHEET #:

**A103**

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MARK	REVISION	DATE

**AE2017.084**  
**FOURTH LEVEL FLOOR PLAN**

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**A104**

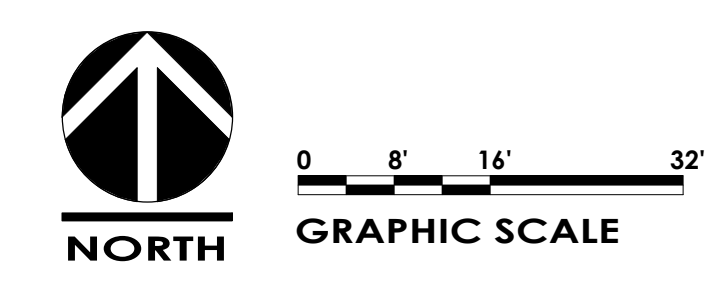
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BUILDING 2 LOWER ROOF

BUILDING 1 ROOF

**1**  
**A104**  
**FOURTH LEVEL FLOOR PLAN**  
 1/16" = 1'-0"







**1**  
A201  
**BUILDING 1 - SOUTH ELEVATION**  
1/16" = 1'-0"  
0 8' 16' 32'  
GRAPHIC SCALE

- EXTERIOR NOTES**
- ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN TO PREVENT LIGHT TRESPASS AND SHALL COMPLY WITH DARK SKY GOALS
  - MAX. HEIGHT OF INTERIOR PARKING LOT LIGHTS = 16'
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW; MECH SCREENS MAY EXTEND 5' ABOVE ALLOWABLE BUILDING HEIGHT

- EXTERIOR FINISHES LEGEND**
- SYNTHETIC WOOD SIDING
  - BRICK - CHARCOAL
  - BRICK - WHITE
  - HARDIE PANEL - IVORY
  - HARDIE PANEL - CHARCOAL



**2**  
A201  
**BUILDING 1 - SOUTH ELEVATION - EAST WING**  
1/8" = 1'-0"  
0 4' 8' 16'  
GRAPHIC SCALE



**3**  
A201  
**BUILDING 1 - SOUTH ELEVATION - WEST WING**  
1/8" = 1'-0"  
0 4' 8' 16'  
GRAPHIC SCALE

**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

MARK	REVISION	DATE

AE2017.084  
**BUILDING 1**  
**EXTERIOR**  
**ELEVATION -**  
**SOUTH**

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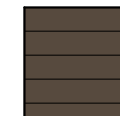
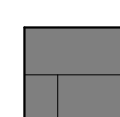
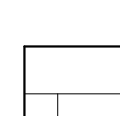

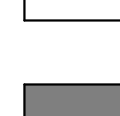
**A201**

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**1**  
A202 **BUILDING 1 - NORTH ELEVATION**  
1/16" = 1'-0"

- EXTERIOR NOTES**
1. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN TO PREVENT LIGHT TRESPASS AND SHALL COMPLY WITH DARK SKY GOALS
  2. MAX. HEIGHT OF INTERIOR PARKING LOT LIGHTS = 16'
  3. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW; MECH SCREENS MAY EXTEND 5' ABOVE ALLOWABLE BUILDING HEIGHT

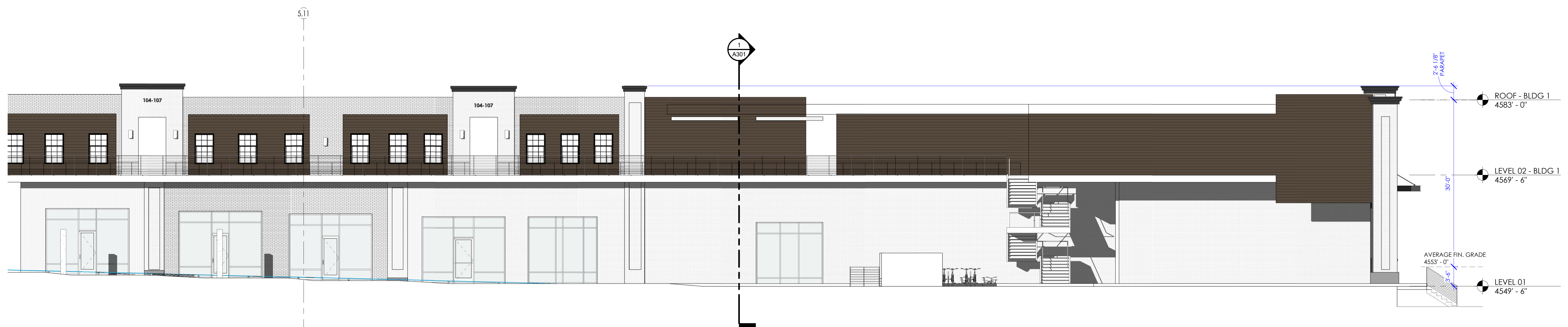
- EXTERIOR FINISHES LEGEND**
-  SYNTHETIC WOOD SIDING
  -  BRICK - CHARCOAL
  -  BRICK - WHITE
  -  HARDIE PANEL - IVORY
  -  HARDIE PANEL - CHARCOAL

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**2**  
A202 **BUILDING 1 - NORTH ELEVATION - EAST WING**  
1/8" = 1'-0"



**3**  
A202 **BUILDING 1 - NORTH ELEVATION - WEST WING**  
1/8" = 1'-0"

**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

MARK	Revision Schedule DESCRIPTION	Revision Date

**AE2017.084**  
**BUILDING 1**  
**EXTERIOR ELEVATION - NORTH**

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SHEET #:

**A202**

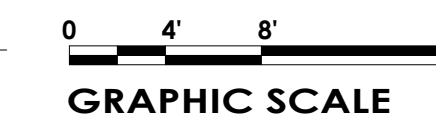
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DESIGN REVIEW RESUBMITAL 12 MAY 2020

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**1**  
**A203** **BUILDING 1 - EAST ELEVATION**  
1/8" = 1'-0"

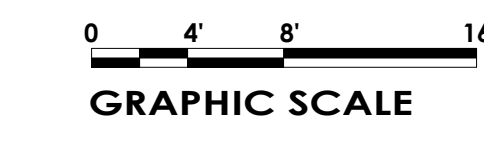


- EXTERIOR NOTES**
- ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN TO PREVENT LIGHT TRESPASS AND SHALL COMPLY WITH DARK SKY GOALS
  - MAX. HEIGHT OF INTERIOR PARKING LOT LIGHTS = 16'
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW; MECH SCREENS MAY EXTEND 5' ABOVE ALLOWABLE BUILDING HEIGHT

- EXTERIOR FINISHES LEGEND**
- SYNTHETIC WOOD SIDING
  - BRICK - CHARCOAL
  - BRICK - WHITE
  - HARDIE PANEL - IVORY
  - HARDIE PANEL - CHARCOAL



**2**  
**A203** **BUILDING 1 - WEST ELEVATION**  
1/8" = 1'-0"



MARK	REVISION SCHEDULE	DESCRIPTION	REVISION DATE

**AE2017.084**  
**BUILDING 1**  
**EXTERIOR**  
**ELEVATIONS -**  
**EAST & WEST**

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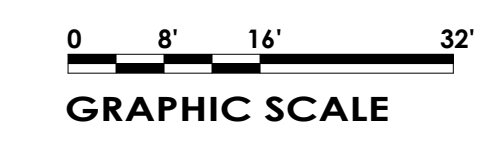
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**A203**

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**2 BUILDING 2 - SOUTH ELEVATION**  
A204 1/8" = 1'-0"



- EXTERIOR NOTES**
1. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN TO PREVENT LIGHT TRESPASS AND SHALL COMPLY WITH DARK SKY GOALS
  2. MAX. HEIGHT OF INTERIOR PARKING LOT LIGHTS = 16'
  3. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW; MECH SCREENS MAY EXTEND 5' ABOVE ALLOWABLE BUILDING HEIGHT

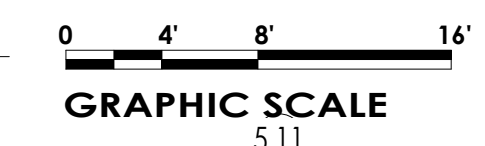
- EXTERIOR FINISHES LEGEND**
- SYNTHETIC WOOD SIDING
  - BRICK - CHARCOAL
  - BRICK - WHITE
  - HARDIE PANEL - IVORY
  - HARDIE PANEL - CHARCOAL

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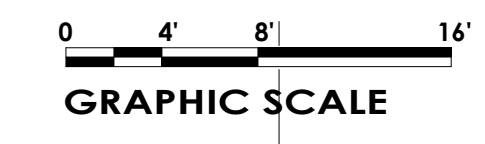
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**5 BUILDING 2 - SOUTH ELEVATION - EAST WING**  
A204 1/8" = 1'-0"



**6 BUILDING 2 - SOUTH ELEVATION - WEST WING**  
A204 1/8" = 1'-0"



**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

Revision Schedule	Revision Date
MARK DESCRIPTION	2021.11.16
2 OWNER UPDATES	

**AE2017.084**  
**BUILDING 2**  
**EXTERIOR ELEVATION - SOUTH**

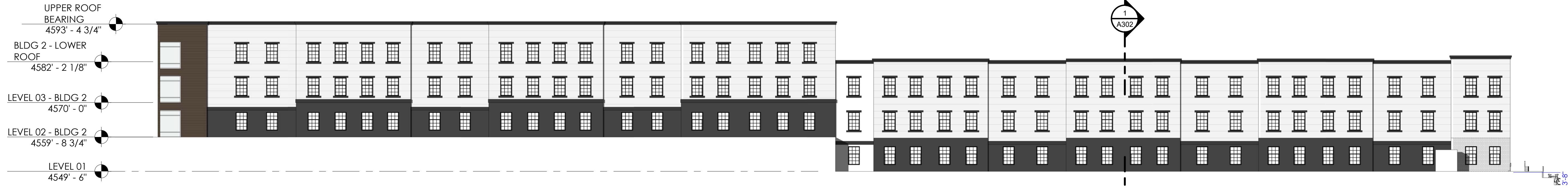
DATE: 5/12/2020  
4:17:13 PM

SHEET #:

**A204**

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5/12/2020 4:17:13 PM



**1 BUILDING 2 - NORTH ELEVATION**  
1/16" = 1'-0"

0 8' 16' 32'  
GRAPHIC SCALE

- EXTERIOR NOTES**
- ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN TO PREVENT LIGHT TRESPASS AND SHALL COMPLY WITH DARK SKY GOALS
  - MAX. HEIGHT OF INTERIOR PARKING LOT LIGHTS = 16'
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW; MECH SCREENS MAY EXTEND 5' ABOVE ALLOWABLE BUILDING HEIGHT

- EXTERIOR FINISHES LEGEND**
- SYNTHETIC WOOD SIDING
  - BRICK - CHARCOAL
  - BRICK - WHITE
  - HARDIE PANEL - IVORY
  - HARDIE PANEL - CHARCOAL

Revision Schedule	Revision Date
1. OWNER UPDATES	2020.11.16
2.	

**AE2017.084**  
**BUILDING 2**  
**EXTERIOR ELEVATION - NORTH**

DATE: 5/12/2020  
4:17:22 PM

SHEET #:

**A205**



**2 BUILDING 2 - NORTH ELEVATION - EAST WING**  
1/8" = 1'-0"

0 4' 8' 16'  
GRAPHIC SCALE

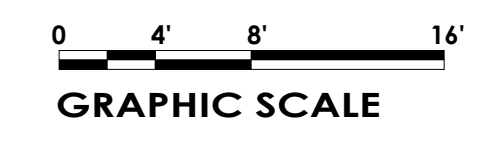


**3 BUILDING 2 - NORTH ELEVATION - WEST WING**  
1/8" = 1'-0"

0 4' 8' 16'  
GRAPHIC SCALE



**3**  
**A206** BUILDING 2 - WEST ELEVATION  
1/8" = 1'-0"



**2**  
**A206** BUILDING 2 - EAST ELEVATION  
1/8" = 1'-0"



- EXTERIOR NOTES**
- ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN TO PREVENT LIGHT TRESPASS AND SHALL COMPLY WITH DARK SKY GOALS
  - MAX. HEIGHT OF INTERIOR PARKING LOT LIGHTS = 16'
  - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW; MECH SCREENS MAY EXTEND 5' ABOVE ALLOWABLE BUILDING HEIGHT

- EXTERIOR FINISHES LEGEND**
- SYNTHETIC WOOD SIDING
  - BRICK - CHARCOAL
  - BRICK - WHITE
  - HARDIE PANEL - IVORY
  - HARDIE PANEL - CHARCOAL

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5/12/2020 4:17:28 PM

**TWENTY ONES**  
2100 S & 2100 E  
SALT LAKE CITY, UT

MARK	REVISION	SCHEDULE	DATE

**AE2017.084**  
**BUILDING 2**  
**EXTERIOR**  
**ELEVATIONS -**  
**EAST & WEST**

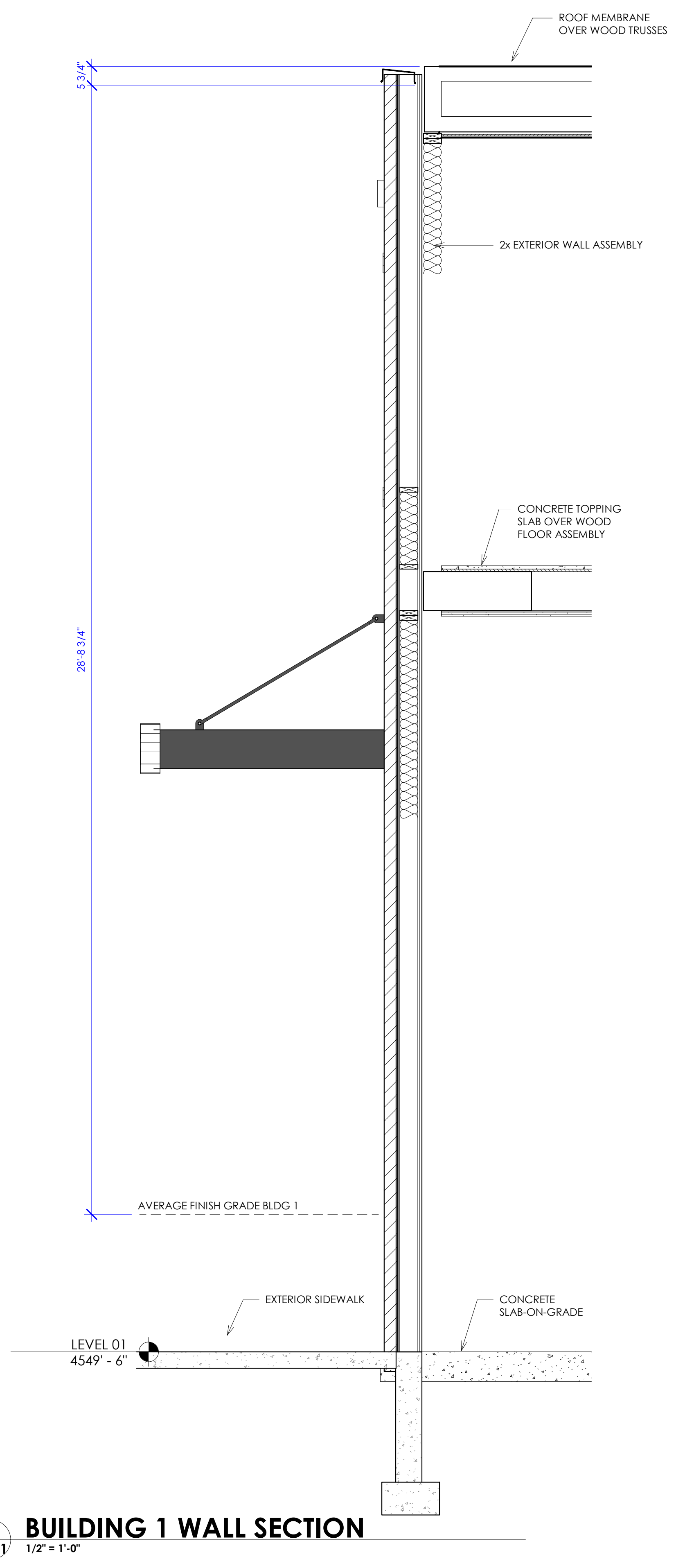
DATE: 5/12/2020  
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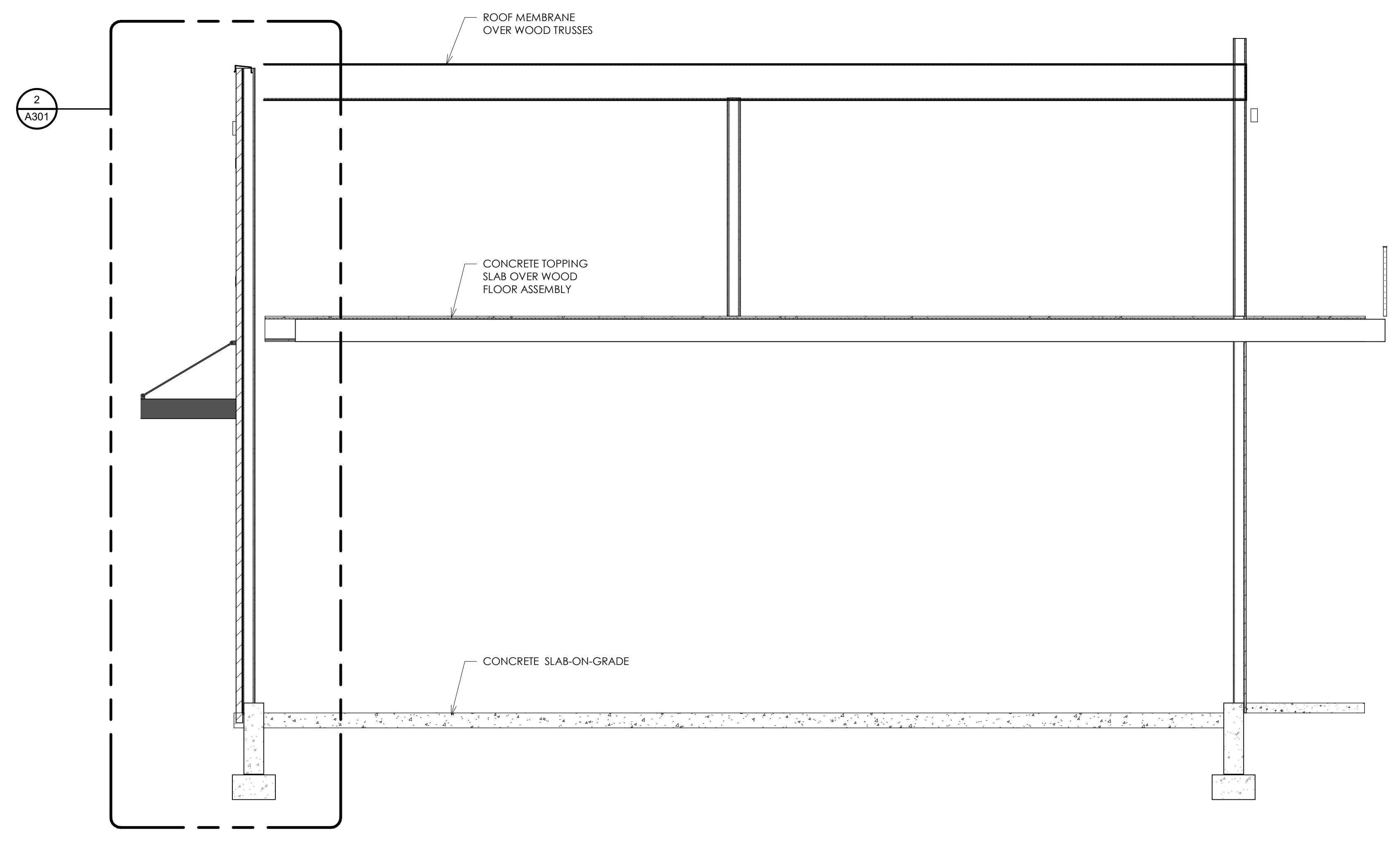
**A206**

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DESIGN REVIEW RESUBMITAL 12 MAY 2020



**BUILDING 1 WALL SECTION**  
1/2" = 1'-0"

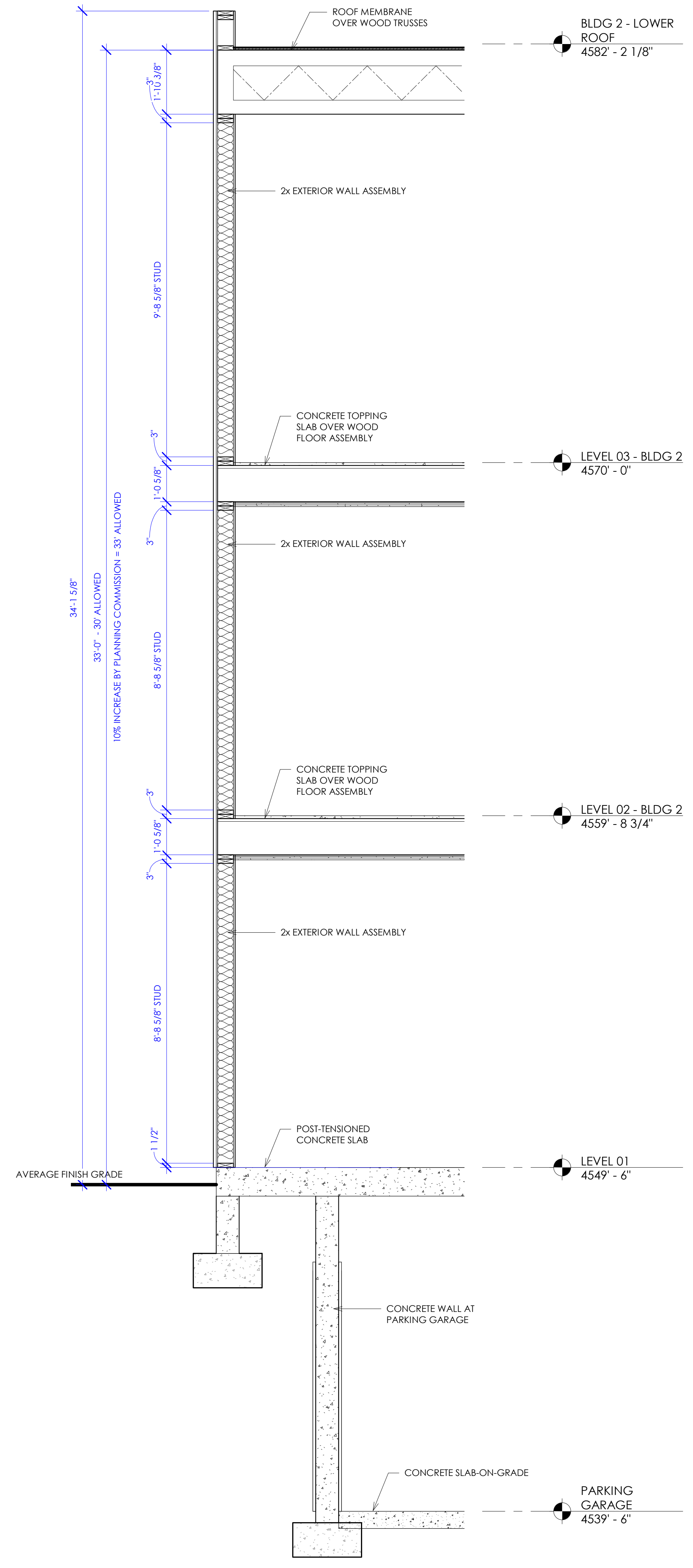


**BUILDING 1 SECTION**  
1/4" = 1'-0"

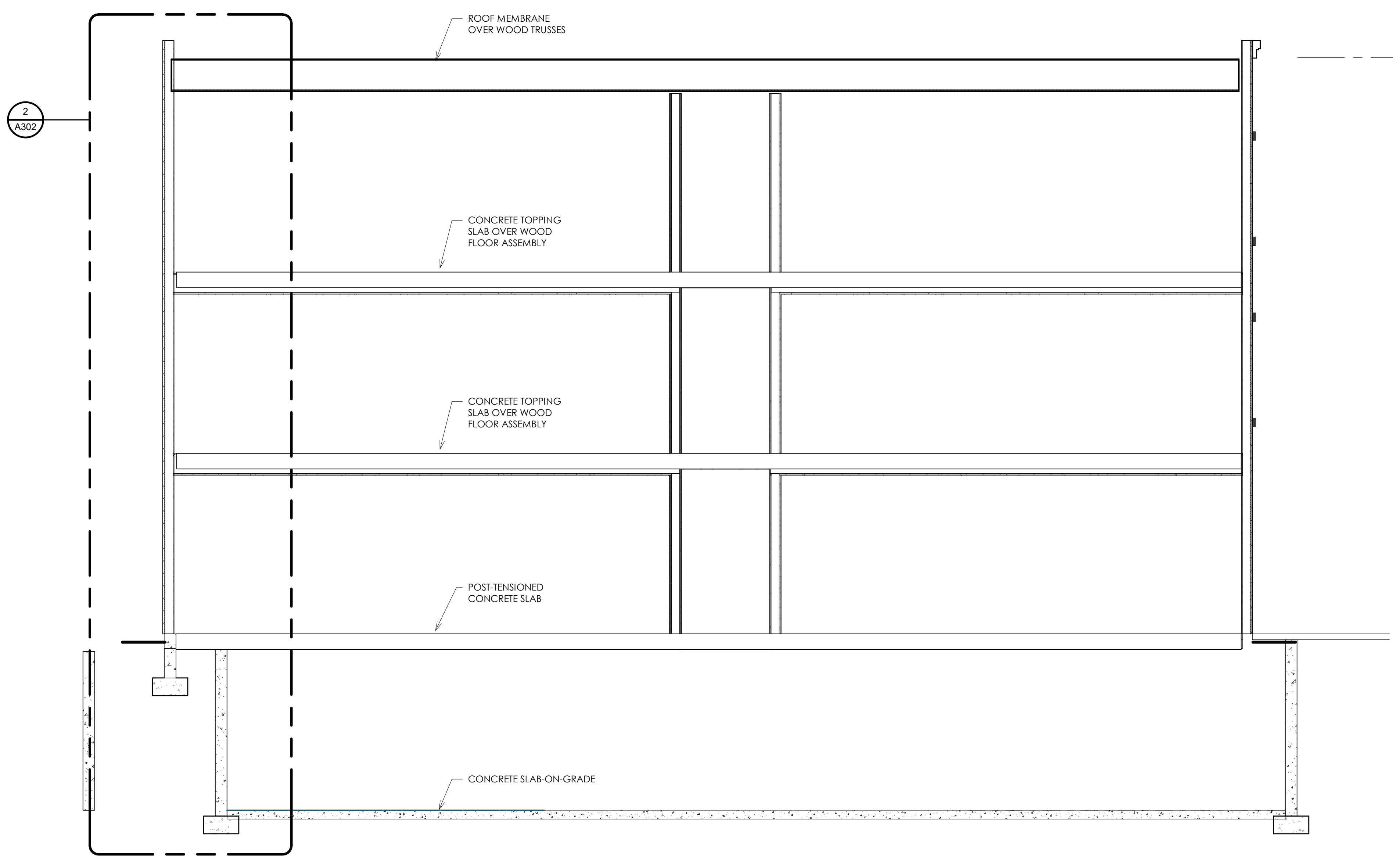
REVISION	DESCRIPTION	DATE

**AE2017.084**  
**BUILDING 1 SECTIONS**  
DATE: 5/12/2020 4:17:31 PM  
SHEET #:

**A301**



**2 BUILDING 2 WALL SECTION**  
A302 1/2" = 1'-0"



**1 BUILDING 2 SECTION**  
A302 1/4" = 1'-0"

Revision Schedule	
MARK	DESCRIPTION
4	ADDENDUM #1
	Revision Date: 2019.01.18

AE2017.084

**BUILDING 2 SECTIONS**

DATE: 5/12/2020 4:17:33 PM

SHEET #:

**A302**